



City of East Moline Committee of the Whole

City Council Chambers
915 16th Avenue
East Moline, IL 61244

DATE: July 15th, 2024

TIME: Immediately Following the Regular Council Meeting

1	Places for Eating Tax – City Code Amendments for Noncompliance	Rothert
2	Design Guidelines for Downtown Redevelopment	Rothert



PARIS 2024



July 26th – August 11th



COMMITTEE OF THE WHOLE

Agenda Item Amending Sections 3-16-4 and 3-16-8 of the City Code Related to Penalties for Noncompliance with the Places for Eating Tax

Prepared by: Mark Rothert, City Administrator

Meeting Date July 15, 2024 Agenda Item # 1

Type of Action (Ordinance, Resolution, Receive & File, Amendment). Ordinance

Council Date for Action August 5, 2024 (1st Reading) & August 19, 2024 (2nd Reading)

DESCRIPTION

At the request of the City Council, penalties will be added to the Places for Eating Tax section of the City Code, under Sections 3-16-4 and 3-16-8, in substantially in the following form (additions indicated by underline, deletions by ~~strikethrough~~):

Section 3-16-4: ~~Any owner of a place for eating found to be violating, disobeying, omitting, neglecting or refusing to comply with, or resisting or opposing the enforcement of any of the provision of the Places for Eating Tax, except when otherwise specifically provided, shall receive a fine of not less than \$100.00 nor more than \$750.00 for the first offense; not less than \$200.00, nor more than \$750.00 for the second offense; not less than \$300.00 nor more than \$750.00 for the third offense; and not less than \$500.00 nor more than \$750.00 for the fourth and each subsequent offenses. Each day a violation continues or is allowed to continue after written notice thereof is provided by the City shall be considered a separate offense.~~

Section 3-16-8: If the Mayor or his or her designee, after a hearing, shall find that any owner has willfully avoided the payment of any tax, he or she may suspend or revoke all City licenses held by such owner, including but not limited to any liquor license held by the owner. The owner shall have an opportunity to be heard at such hearing to be held not less than ten (10) days after being mailed notice of the time and place where such hearing is to be held, addressed to the owner at its last known place of business. Any suspension or revocation of any license(s) shall not release or discharge the owner from his or her civil liability for the payment of the tax nor from prosecution for such offense

Staff is also recommending to make some minor clarification changes in Section 3-16-4 that correct the day on which tax filings are due to the city each month on the 20th.



COMMITTEE OF THE WHOLE

FINANCIAL IMPACT

Line Item #	Line-Item Title	Department	Amount Budgeted	Available Funds	Amount Requested
n/a					
TOTALS					

If this is a CIP Project, identify project number _____

RECOMMENDATION/REQUESTED ACTION _____ **Approval** _____

RECORD OF VOTES: _____

MOTION BY _____ SECONDED BY _____

TO _____

CITY COUNCIL VOTES

VOTES	OLIVIA DOROTHY	JEFF DEPPE	NANCY MULCAHEY	ADAM GUTHRIE	RHEA OAKES	LYNN SEGURA	J.R. RICO
YES							
NO							
ABSTAIN							
ABSENT							

ORDINANCE NO. 24-_____

AMENDING SECTIONS 3-16-4 and 3-16-8 of EAST MOLINE CITY CODE

WHEREAS, the City of East Moline (“City”) is a municipality organized and operating under the Illinois Municipal Code; and

WHEREAS, at its December 4, 2023 meeting, the City Council adopted the Places for Eating Tax placing a 1.5% tax on the sale of prepared food sold for immediate consumption; and

WHEREAS, after a notification period in 2024, this tax went into effect March 2024 with a first payment due in April 2024; and

WHEREAS, at present there are 72 establishments in the City to be paying this tax but only 60% in compliance with payment; and

WHEREAS, to incentivize payment the City desires to assess penalties and fines for non-compliance with the Places for Eating Tax; and

WHEREAS, changes to language regarding due dates for tax filings is also necessary; and

WHEREAS, the Council finds it is in the best interest of the City to assess such penalties and update the City Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EAST MOLINE, ROCK ISLAND COUNTY, ILLINOIS, THAT:

Section 1. The findings and recitations set forth above are adopted and found to be true and correct.

Section 2. Title 3, Chapter 16, Section 3-16-4 of the East Moline City Code is hereby amended as follows (additions indicated by underline, deletions by ~~strikethrough~~):

3-16-4: TRANSMITTAL OF TAX REVENUE BY OWNER; DELINQUENCY:

(A) The owner or owners of each place for eating shall file tax returns showing the gross receipts received during each calendar month period upon forms prescribed by the Local Tax Administrator or his or her designee. Returns for each calendar month shall be due on or before the ~~twentieth first day of the second day of the first~~ month after the taxes have been collected (e.g., the return for January shall be due on or before ~~February 20 March 1~~; the return for February shall be due on or before ~~March 20 April 1~~; etc.). Notwithstanding the foregoing, in the event that the owner of the place for eating is allowed to file Illinois retailers’ occupation tax and Illinois service occupation tax returns with the Illinois department of revenue at intervals which are greater than monthly, said owner shall be allowed to file tax returns relative to the tax imposed by this Chapter with the City at said greater intervals. At the time of the filing of said tax returns, the owner shall pay to the Local Tax Administrator or his or her designee all taxes due for the period to which the tax return applies.

(B) If, for any reason, any tax due pursuant to this Chapter is not paid when due, penalties and interest thereon shall be imposed and the owner shall be subject to suspension of

licenses in accordance with the provisions of this Chapter and the remainder of this code. (Ord. 23-21, 12-4-2023)

- (C) Any owner of a place for eating found to be violating, disobeying, omitting, neglecting or refusing to comply with, or resisting or opposing the enforcement of any of the provision of the Places for Eating Tax, except when otherwise specifically provided, shall receive a fine of not less than \$100.00 nor more than \$750.00 for the first offense; not less than \$200.00, nor more than \$750.00 for the second offense; not less than \$300.00 nor more than \$750.00 for the third offense; and not less than \$500.00 nor more than \$750.00 for the fourth and each subsequent offenses. Each day a violation continues or is allowed to continue after written notice thereof is provided by the City shall be considered a separate offense.

Section 3. Title 3, Chapter 16, Section 3-16-8 of the East Moline City Code is hereby amended as follows (additions indicated by underline, deletions by ~~strikethrough~~):

3-16-8: SUSPENSION OF LICENSES:

If the Mayor or his or her designee, after a hearing, shall find that any owner has willfully avoided the payment of any tax imposed by this Chapter, he or she may suspend or revoke all City licenses held by such owner, ~~including but not limited to any liquor license held by the owner~~. The owner shall have an opportunity to be heard at such hearing to be held not less than ten (10) days after being mailed notice of the time and place where such hearing is to be held, addressed to the owner at its last known place of business. Any suspension or revocation of any license(s) shall not release or discharge the owner from his or her civil liability for the payment of the tax nor from prosecution for such offense. (Ord. 23-21, 12-4-2023)

Section 4. This resolution shall take effect immediately upon its passage.

Approved this _____ day of _____, 2024.

Adopted this _____ day of _____, 2024.

Mayor of the City of East Moline, Illinois

ATTEST:

City Clerk of the City of East Moline, Illinois

Agenda Item	<u>Design Guidelines for Downtown Redevelopment</u>		
Prepared by:	<u>Mark Rothert, City Administrator</u>		
Meeting Date	<u>July 15, 2024</u>	Agenda Item #	<u>2</u>
Type of Action (Ordinance, Resolution, Receive & File, Amendment).	<u>Resolution</u>		
Council Date for Action	<u>August 5, 2024</u>		

DESCRIPTION

In light of the City's approval of startup funding for the Business Improvement Grant Program, councilmembers have also requested design guidelines for improvements made in the downtown area. For the purposes of discussion, the downtown area is the area covered by the Special Service Area bordered in purple in the map below.



Design guidelines help property owners and developers understand the criteria for reviewing projects in a designated area. These guidelines are not strict regulations but tools to visualize and convey the design goals and character of places like the historic downtown of East Moline. They outline the minimum design criteria and performance guidelines suggested for the area, reflecting the City of East Moline's recommended design direction. Unlike the precise regulations in the zoning code, the Design Guidelines:

- Do not dictate specific limits, and strict adherence does not guarantee application approval;
- Serve as a guide for making compatible improvements, rather than rigid rules;
- Offer advice to building owners on undertaking work in the district and provide the City, through a Design Review Committee, a means to evaluate the appropriateness of proposed work;
- Set broad parameters for changes to support business and economic development while allowing design creativity and individual expression.

The purpose of the Downtown Design Guidelines is to help owners make improvements consistent with the downtown's scale, form, and character, promoting economic development, business expansion, and residential opportunities. They also aim to protect the significant public and private investments made downtown.

The attached guidelines provide detailed implementation advice on:

- General Building Design;
- Building Massing;
- Building Materials;
- Building Facades, including components like windows, entrances, awnings, signage, lighting, and colors; and
- Site improvements such as fencing, parking lots, landscaping, and mechanical systems.

The City, through a Design Review Committee, will review and approve all exterior façade alterations, additions, and new construction within a Downtown Design Review Area. Repairs and alterations not visible from the street or alley will not be reviewed.

Input on these guidelines was sought from East Moline Main Street, the Community Development Director, and the Chief Building Official. The draft before City Council is a culmination of input from these groups and people.

As these design guidelines will help to protect and preserve the historic nature of East Moline's downtown character, staff recommends approval.



COMMITTEE OF THE WHOLE

FINANCIAL IMPACT

Line Item #	Line-Item Title	Department	Amount Budgeted	Available Funds	Amount Requested
TOTALS					

If this is a CIP Project, identify project number _____

RECOMMENDATION/REQUESTED ACTION _____ *Approval* _____

RECORD OF VOTES:

MOTION BY _____ SECONDED BY _____

TO _____

CITY COUNCIL VOTES

VOTES	OLIVIA DOROTHY	JEFF DEPPE	NANCY MULCAHEY	ADAM GUTHRIE	RHEA OAKES	LYNN SEGURA	J.R. RICO
YES							
NO							
ABSTAIN							
ABSENT							

RESOLUTION NO. 24-_____

AUTHORIZING THE RELEASE OF A RESERVATION FOR THE GREATER METROPOLITAN AREA HOUSING AUTHORITY

WHEREAS, in light of the City's recent approval of startup funding for the Business Improvement Grant Program, design guidelines for improvements made in the downtown area are desired; and

WHEREAS, design guidelines help property owners and developers understand the criteria for reviewing projects in a designated area; and

WHEREAS, such guidelines are not strict regulations but tools to visualize and convey the design goals and character of places like the historic downtown of East Moline; and

WHEREAS, the guidelines outline the minimum design criteria and performance suggested for the area, reflecting the City of East Moline's recommended design direction; and

WHEREAS, the goal of the Downtown Design Guidelines is to help owners make improvements consistent with the downtown's scale, form, and character, promoting economic development, business expansion, and residential opportunities; and

WHEREAS, the City Council finds it is in the best interest of the City to help protect and preserve the historic nature of East Moline's downtown character by adopting such design guidelines.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of East Moline, Illinois, that:

1. The findings and recitations set forth above are adopted and found to be true and correct.
2. The Downtown Design Guidelines, attached hereto as Exhibit A, are adopted and to be utilized for future development and redevelopment in East Moline's downtown.

Approved this _____ day of _____, 2024.

Adopted this _____ day of _____, 2024.

Mayor of the City of East Moline, Illinois

ATTEST:

City Clerk of the City of East Moline, Illinois



Downtown Design Guidelines

INTRODUCTION.

The City of East Moline has adopted the following design guidelines for the Downtown Design Review Area. This booklet is designed to give property owners and developers a sense of the criteria utilized in reviewing projects for appropriateness. The guide is not a set of regulations set-in-stone but rather a tool to help visualize and convey the design goals and character of the Downtown Design Review Area.

The Downtown Design Review Area, as adopted by the City of East Moline, encompasses the geographic area highlighted below and largely encompasses East Moline's downtown area.



Downtown Design Review Area: The Design Review Board Guidelines apply to the buildings within the East Moline Downtown Design Review Area boundaries outlined in purple.

ROLE.

The Downtown Design Guidelines comprise the minimum design criteria and range of performance guidelines suggested for the downtown area, which exemplify the design direction that the City of East Moline recommends as appropriate. The role of the Design Guidelines is different from the more precise regulations found in the zoning code. The Design Guidelines:

- Do not dictate specific limits, nor does strict adherence to them necessarily assure approval of an application;
- Are not rigid sets of rules, but rather a guide on how to make improvements in the downtown area which are compatible with its character;
- Give building owners advice on how to undertake work in the district, and they give the City, via its Design Review Committee¹, a way to determine whether the proposed work is appropriate; and
- Set broad parameters within which changes should occur in order to achieve business and economic development, while maintaining many opportunities for design creativity and individual choices and tastes.

PURPOSE.

¹ The City may designate the Design Review Committee as consisting of the existing Plan Commission, Board of Zoning Appeals, or an ad-hoc committee created through appointments by the Mayor with City Council consent.

The purpose of the Design Guidelines is to help owners to make improvements consistent with the scale, form and character of the downtown. This, in turn, will help to promote economic development, business expansion, and residential opportunities in the area. These guidelines are also in place to protect the significant public and private investment that has occurred downtown.

DESIGN REVIEW PROCESS.

The overall project will be reviewed by the building department. However, the City via its Design Review Committee shall specifically review all exterior façade alterations, additions, and new construction within the Downtown Design Review Area. Repairs and alterations or other modifications not visible from the street or alley or to other parts of the building shall be reviewed by the City's building official(s) for compliance to city building codes.

1. The recommended first step in the Design Review process is a pre-application meeting between the applicant and the Community Development Director ("Director"). After a preliminary review of the applicant's proposal, the Director will determine if the project can be approved administratively or if it should go before the Design Review Board.
2. When a property owner or occupant/tenant intends to construct, reconstruct, or alter any portion of a structure within the Downtown Design Review Area, they shall first apply for and secure a Certificate of Appropriateness from the Design Review Committee. The application for a certificate shall be deposited with the Director, together with such plans, specifications and drawings needed to convey the scope of the project. The application must contain the following:
 - a. Completed Application Form;
 - b. Application fee of \$_____;
 - c. Photographs of existing conditions;
 - d. Colored drawings of proposed project showing all exposed façades of the building; and
 - e. List of materials to be used in the project including proposed colors.
3. The Director shall transmit the application to the Design Review Board Members.
4. Within forty-five days of filing, the Board shall consider the application package and approve, deny, or table the application. Review of the application shall be based on Design Review Guidelines contained in this document.
5. If the Board fails to meet and consider an application within forty-five days of filing, the application shall be deemed approved. Once the Board meets to consider the application the forty-five day period is satisfied and no specific timeline is applied to the application. The Board may table an application for further discussion or fact-finding purposes.
6. The Board may require any person applying for a Certificate of Appropriateness to supply additional information with the Board prior to any hearing or determination to properly review the request.
7. If the proposed construction, reconstruction, alteration is determined to have no adverse effect on the Downtown Design Review Area, and does not violate the spirit and purpose of these regulations, then the Board Director shall issue the Certificate of Appropriateness.
8. If the Design Review Board determines that the proposed construction, reconstruction, Alteration will have an adverse effect on the Downtown Design Review Area, or violates the spirit and purposes of these guidelines, then the Board shall deny issuance of the Certificate of Appropriateness. The Board shall state in its records the reason for denial and transmit to the Applicant via proof of mailing the reasons for denial.

DESIGN GUIDELINES.

These design guidelines help convey the desired architectural quality and design for the Downtown Design Review Area. These guidelines are used by the Design Review Board to help guide the decision-making process.

General Building Design.

The purpose of the Design Review Guidelines is not to define a specific style or period of architecture. Instead, the Design Review Guidelines are intended to encourage alterations, renovations and new construction which are distinctive in character, aesthetically pleasing and built of lasting quality. Please note, depending on the scope and complexity of a project, the City will likely require stamped plans to be submitted from an Illinois licensed design professional, such as an architect or engineer.

In general, buildings in the Downtown Design Review Area should:

- Have a singular architectural style.
- Use durable, high-quality materials.
- Preserve historic buildings or details when feasible.
- Use neutral color schemes.
- Primarily have first floor retail or services and residential living above on higher floors.
- Be pedestrian friendly.
- Create or maintain a unified street wall.
- Incorporate landscaping and greenspace when possible.
- Give equal emphasis to all exposed façades.
- Have a compatible or complimentary architectural design to its neighbors.
- Utilize signage designed for pedestrians.
- Hide mechanical equipment from view.

Buildings should not:

- Mix several architectural styles.
- Use bright, florescent, shiny, reflective paint or materials.
- Lack architectural features
- Use cheap, low-quality materials.
- Have one-sided architecture.

The Design Review Board will review each applicant based upon their compliance with the following design objectives:

- 1 Building Massing
- 2 Building Materials
- 3 Building Façade
 - 3.1 Windows
 - 3.2 Entrances
 - 3.3 Awnings
 - 3.4 Signage
 - 3.5 Lighting
 - 3.6 Colors

- 4 Site Improvements
 - 4.1 Fencing
 - 4.2 Parking Lots
 - 4.3 Landscaping
 - 4.4 Mechanical Systems

Applicants should ensure that the Design Guidelines have been considered in their application. Failure to consider all aspects of the Design Guidelines may result in a denial of the application.

1. **BUILDING MASSING**

The physical qualities of massing, scale, and form help to determine whether buildings are sensible to their context. Traditional Main Street commercial buildings have demonstrated physical qualities that make them proportionate to the street space and appropriate to the pedestrian scale. Generally, buildings are two to five stories tall, and built to the lot line and form a continuous frontage on Main Street. Overall, these buildings demonstrate proportions, rhythm, and details that are traditional in character. In addition, the overall building design is important to create a sense of place, enclosure, and activity. The following guidelines are offered:

- Building massing, height, and lot coverage should be proportionate to adjacent buildings. Appropriate massing will assist in creating a sense of enclosure.
- Primary façades should be located near the right-of-way line. Buildings located at the street edge enhance both the urban quality of the street and the pedestrian experience. Conversely, buildings set back away from the right-of-way detract from the urban experience and should be avoided.
- Buildings should extend and establish a continual street wall.
- Plazas and outdoor cafes are encouraged as they continue street wall whereas parking lots are discouraged as they eliminate the street wall.
- Single-story buildings should be avoided along the major corridors. The size, spacing, and location of neighboring buildings may allow for single-story buildings in some cases.

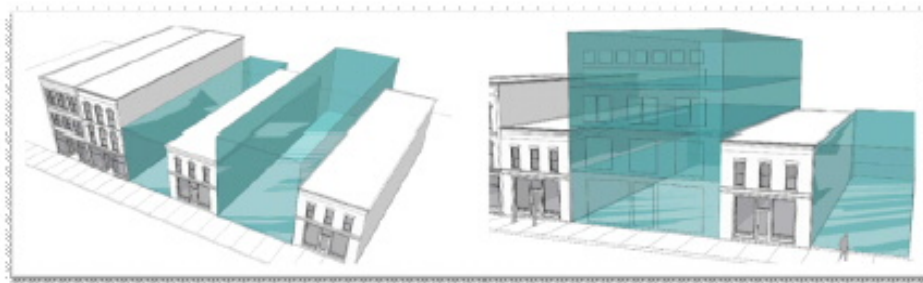


Figure 1: Appropriate building massing - subtle variation in building height positively contributes to the urban experience. Notice this example has a continual street wall with no gaps between buildings.

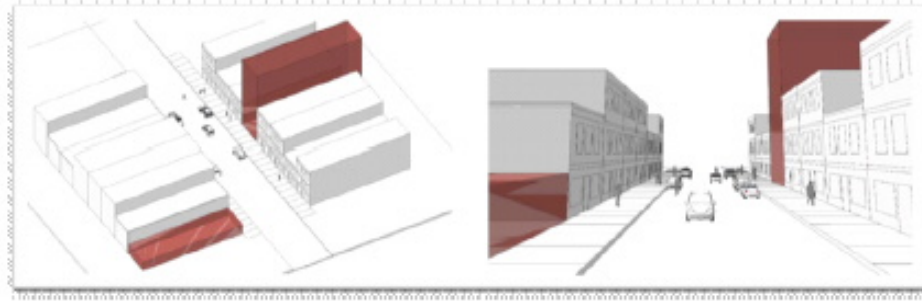


Figure 2: Inappropriate building massing - too much variation in height does not present uniform street front. Of most concern is the single-story building which deteriorates the sense of enclosure.

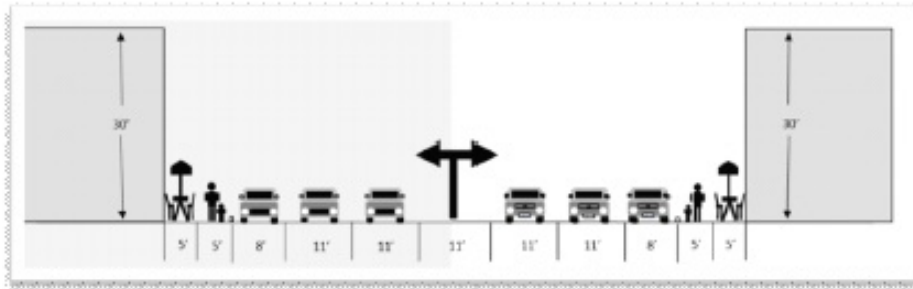


Figure 3 Building height, street width ratio: This illustrates a good design criterion that is the street width to building height ratio (1:3 Building heights to street width). Maintaining this ratio helps create the urban sense of enclosure.



Figure 4 Street Gaps: Avoid major gaps in street wall.

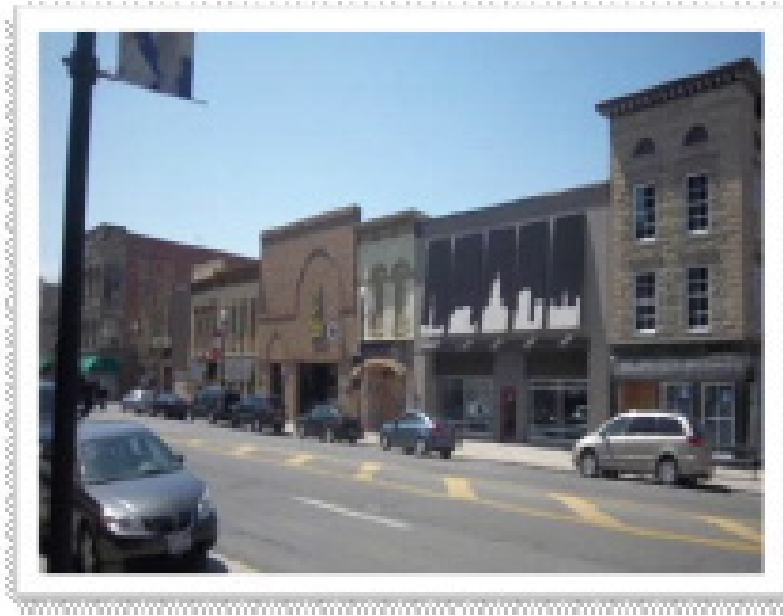


Figure 5 Street Wall: Example of a strong street wall

2. **BUILDING MATERIALS**

Building façade materials are essential elements that tie the building to its surroundings and visually impact the surrounding environment. In addition to other design features, traditional façade materials allow buildings to appear suitable and harmonious to their context while other materials can appear distracting.

- Base materials should be consistent and new materials should complement the existing.
- Repair and restoration of original features and materials such as brick, stone, wood siding, etc. is highly encouraged. Covering original features and materials, however, is discouraged.
- Building materials such as utility brick, concrete masonry units, and Exterior Insulating Finishing Systems (EIFS) as a primary façade material are discouraged but may be used as accent materials.
- Building materials such as brick, stone, manufactured stone, terra cotta accents, metal accents, and wood are encouraged as they provide visual interest and assist in creating a pedestrian friendly corridor.
- A horizontal expression should establish the ground level of the building from the rest of the building. The expression should complement adjacent buildings and reinforce the street as a pedestrian friendly space.
- Materials should be used to differentiate between the importance of building features and provide visual separations between material functions.



Figure 6 Appropriate Building Materials: Good use of brick, stone, and canvas awnings.



Figure 7 Discouraged Materials: Use of vinyl and aluminum siding, and EIFS as a primary material is discouraged.



Figure 8 Discouraged Materials: Discouraged - utility masonry

3. **BUILDING FACADE**

Features that extend out from the building façade can contribute to the character, scale, and visual interest of the street.

- Consider entire blocks as a single façade - use similar or complementary materials, colors, elements to create a unified appearance.
- Façades should reflect proportionate shapes and patterns. Unarticulated walls create poor visual appearance, and do not relate to the base or the roof.
- Façades should be visually appealing through detailing, openings, and materials.
- Corner buildings are buildings exposed on two streets. Corners of these buildings should be articulated and elaborated to reflect this importance.
- There should be a clearly defined top, middle, and base seen on the outside.



Figure 9: Encouraged Building Façade - These figures exemplify use of similar and complementary materials, proportionate well-spaced windows, appealing building details, and well-defined top, middle, and base.



Figure 10 Discouraged Façade: These figures illustrate poor design through lack of detail, poorly spaced windows and doors, no sense of top, middle, and base, and minimal variation in materials and brick color.



Figure 11 Encouraged Façade: Another example of encouraged façade design styles. Again, we see complementary materials, well-patterned building openings, and a variety of architectural details.

Windows

- Ground floor windows should be designed to encourage retail uses. Generally, the majority of the first floor should be windows as they enliven the streets and provide both interest and activity at the street level.

- Knee walls are encouraged to provide a strong base. They should be between 12 - 30 inches tall.
- Windows should be tempered glass and transparent, not opaque.
- Blocked in windows should be opened up and restored to the original appearance.
- Avoid altering the shape of the original openings.
- If window replacements are necessary, the new windows should convey the same visual appearance as the originals.
- Replacement windows should fill the entire historic window opening. If historic window openings require closing, the opening should be a different material or texture to maintain the rhythm of the wall.
- Painting aluminum window (and door) frames can help to blend them with the building.
- Upper story windows should be in rhythm with the base level.
- Sills, lintels, divided lights, and style can create visual interest. Double-hung windows provide more visual interest than casement windows.



Figure 12: Encouraged Windows - replacement windows that fill the entire window opening.



Figure 13: Discouraged Windows- Windows that are both not to scale with the façade or the traditional window openings.

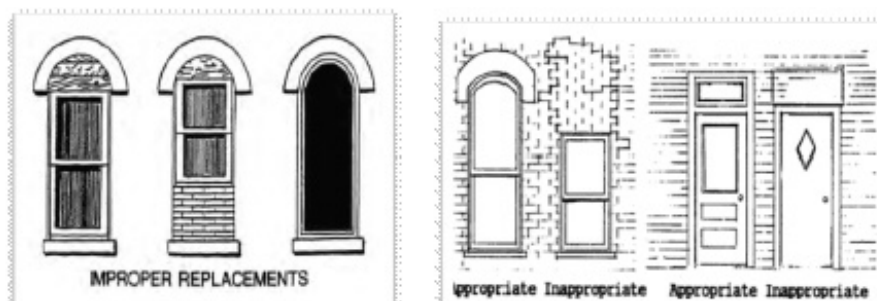


Figure 14 Window & Door Replacements: The photos above demonstrate both appropriate and inappropriate window and door replacements.



Figure 15: Discouraged Storefront - Storefronts without a knee wall or base.



Figure 16: Encouraged Storefront- Knee walls and windows making up the majority of the storefront demonstrate a strong base.

Entrances

A building entrance serves both building tenants and customers. In addition, it can enliven the building's context. A city block with buildings with entrances directly accessible from the public sidewalk encourages pedestrian traffic and increases possibilities for more activities - shopping and social interactions.

- Entries should be prominent features of the base. They should be different from the standard building bay through articulation, elaboration, and materials.
- Entrances should be easily recognizable to the pedestrian.
- If possible, commercial buildings should not use residential doors.
- Any public accessible building will be required to comply with the ADA code, including entryways and walkways up to the building.
- There are a variety of ways to enunciate the entryway to a building:
 - Arched entries
 - Recessed entries - two feet from surrounding façade
 - Projecting entries
 - Decorative molding above doorways
 - Columns
 - Signage
 - Planters with ornamental landscaping
 - Oversized doors



Figure 17: Encouraged Entryways- Articulated design, and materials help to enunciate the entryway to these buildings.



Figure 18: Discouraged Entryway - Opaque windows, and windows that do not make up the majority of the storefront give the appearance of a residential entryway rather than an entryway of a commercial building.

Awnings

Awnings, canopies and marquees serve many functions, and enhance building façades and sidewalks. They provide store entrances and sidewalks with a sun-screening element, and a shelter from the rain. They unify the building appearance, articulate the storefront and entryways, and provide a surface to place a business name. Careful design and integration with the building façade design are important considerations to prevent clutter and façade distractions.

- Awnings create visual interest while shielding pedestrians from weather. They should be compatible in both material and style with adjacent properties. Awnings may have advertise goods and provide visual cues to the location of the entrance.
- Awnings should not obscure the architectural features of the building and should reinforce the frame of the storefront.
- Awnings should be in proper scale with the building.
- Awning material should be compatible with building materials and style.
- Canvas or metal are generally suitable materials for awnings
- Plastic, backlit awnings, and shiny or bubble awnings should be avoided.
- Scale of signage on awnings should be minimal.
- Simple, flat-sloped awnings are encouraged.



Figure 19: Encouraged Awnings- Awnings that do not obscure structural details, are simple in design, and are compatible with the building materials.



Figure 20: Encouraged Awnings- Awnings that are to scale with the windows and entry of the building.



Figure 21: Discouraged Backlit Awning - Plastic backlit awnings are not appropriate.

Signage

Signs and communication are necessary but sometimes unattractive components of business operations. It is important to reach a visual balance between drawing pedestrian attention, and creating an attractive area free of visual clutter by integrating signage into the overall design of the building/storefront.

- Projecting signs create visual interest and can assist businesses in advertising.
- Signs should fit existing features of the façade and not cover major architectural elements.
- Signs should be mounted somewhere above the display windows and below the second story windows.
- It is recommended that window signs do not exceed 30% of the total glass area of the window.
- Remove unused/outdated signs and repair any holes resulting from the removal of the sign(s).
- Signage should be scaled to pedestrian use within district.
- Signage should complement the building character.
- Back-lit box signs should be avoided.
- Freestanding signs should be temporary and used only for special events. Permission from the City's Zoning Officer may have to be obtained before using freestanding signs

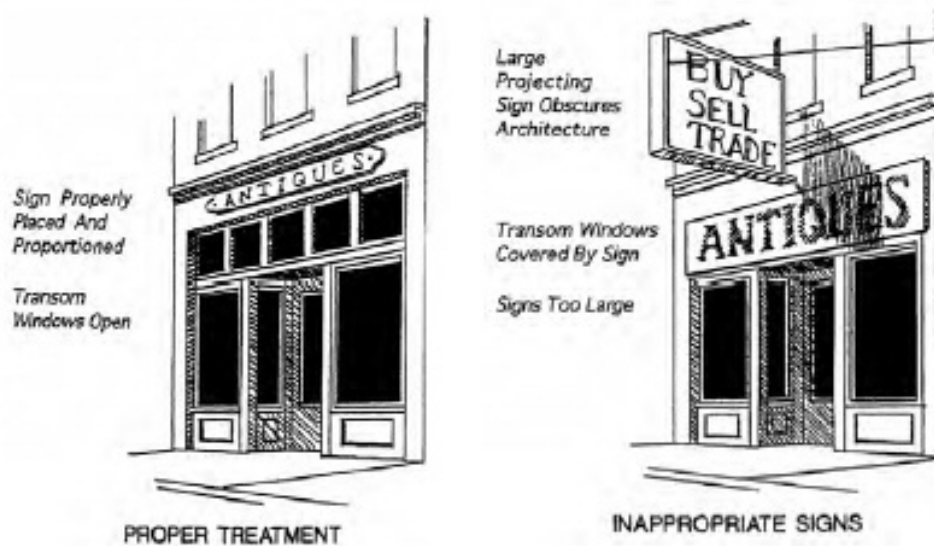


Figure 22 Signs: Appropriate vs. inappropriate signage



Figure 23: Encouraged Signs - Signs that are to scale with building elements help to appropriately advertise for business and reduce visual clutter.

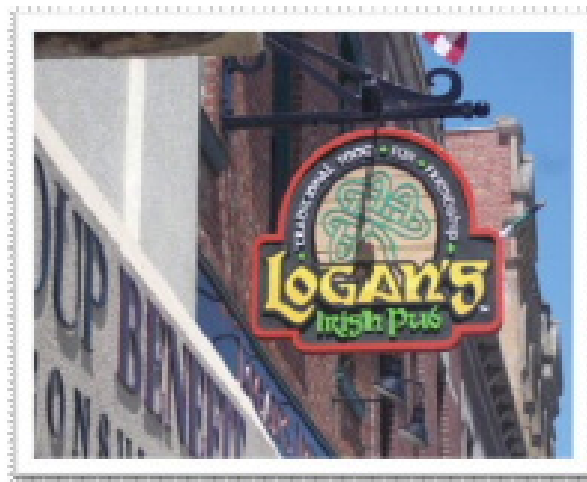


Figure 24: Encouraged Projecting Sign - Projecting signs help to create visual interest

Lighting

- Protruding light fixtures also add visual interest while highlighting building details.
- Any lighting should minimize glaring and light trespassing. Lighting near mixed-use buildings should not have a direct impact on upper story residential windows.
- Lighting shall complement retail display and nighttime activities.
- Signs with opaque backgrounds should be lit from the exterior by wall-mounted, focused, directional lights. The lighting exposure should be limited as to illuminate the sign content.
- Neon lighting should be minimal and restricted to "Open" signage visible through the street level windows only. Strobe lighting is not permitted.



Figure 25: Encouraged Projecting lights - Projecting lights

Color

Within traditional main streets, neutral and subtle colors are considered more contextual or pleasing than high intensity, metallic or fluorescent colors. Colors and finishes that enhance the collective image of traditional main streets are contextual, which reflect tasteful and responsible artistic expressions.

The City does not have a required color palate for the Downtown Design Review Area but the color selection process should fit the character of the downtown.

- Bright fluorescent colors should be avoided.
- Brighter and darker hues should be used sparingly for smaller accent features or to draw attention to details, such as a door.
- Colors should accentuate architectural details of the building.
- Color schemes should be simple, using the minimum number of colors necessary to achieve a desired look.
- The color selection should complement the predominate hues of the adjoining buildings.
- If masonry must be painted, select colors that are similar to the natural range of the brick.
- Stripes, polka dots, checkerboard patterns and other distracting paint combinations are discouraged.
- Neutrals, earth tones, and natural materials of both low reflectance and subdued shades are encouraged.
- Building colors should be consistent on all sides.

Appropriate color palettes are noted in the Appendix 1.

4. SITE IMPROVEMENTS

Fencing

Fencing around a building or site can serve many functions. It can mark boundaries, provide screening, control entry and exit, and to provide a form of security. Security fencing around a commercial establishment can portray defensiveness toward the pedestrian and negatively impact neighboring properties. Although there are not many fences within the downtown, there are cases in which they are appropriate. Special consideration should be given to the type of fencing used.

The following types of fencing are discouraged:

- Chain link
- Wood privacy
- Vinyl fencing
- Split rail fencing

The following is encouraged:

- Metal wrought iron fencing
- Masonry walls
- Combination of masonry wall and metal wrought iron fencing

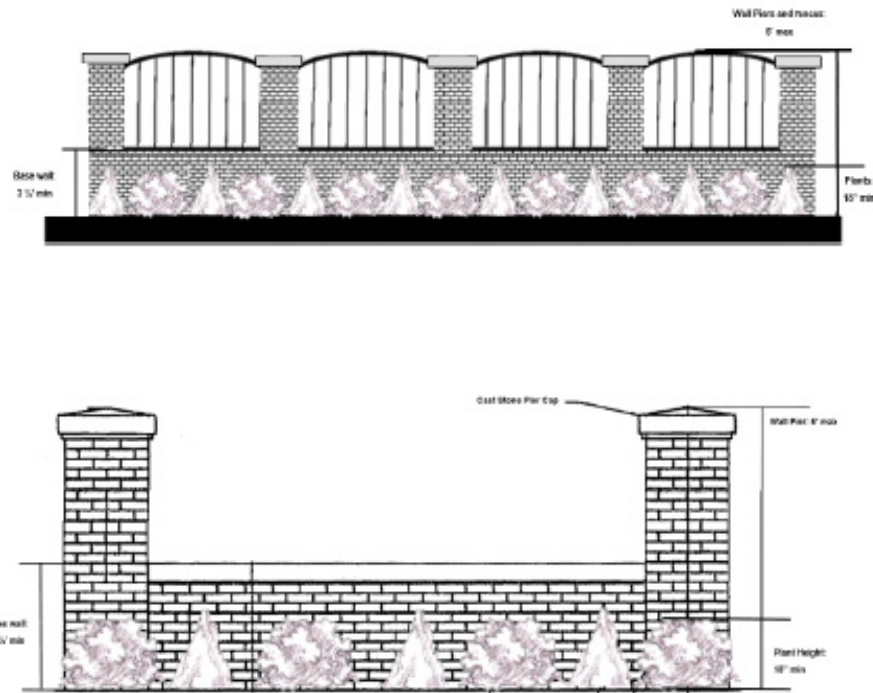


Figure 26: Appropriate Fencing - fencing material can create a more inviting appearance.

Parking Lots

Parking lots consume vital land, separate buildings from public sidewalks, break up continuity of the street wall and can be visually intrusive if not screened and landscaped appropriately. Consideration for physical qualities like appropriate building sitting, building site relationship, landscaping and screening elements not only reduces the negative visual impact of parking lots, but also improves the walkability, livability and safety of the main streets. The following recommendations of parking lots are encouraged:

- Parking lots should be set back from the street lot line or the back of the sidewalk.
- Parking lots should be located behind buildings as close as possible to rear entrances.
- Large paved areas for off-street parking should be screened with walls, fencing, or plants.
- Concrete curbs are the appropriate edges for the parking lots; avoid blocks or bumpers.
- Add lighting to parking lots to increase safety and visibility.

Landscaping

Landscaping can provide visual appeal and environmental comfort. It improves both the appearance and property value while instilling confidence and pride in the area. Landscape design works with a variety of elements that include water, screening, fencing, lighting, as well as hard (non-living elements.) and soft surfaces (living elements). Trees, when appropriately located, provide shade and windbreak, and help to create a pedestrian-friendly environment.

- Landscaping can create pedestrian friendly sidewalks by separating vehicles from pedestrians. Benches adjacent to landscape areas assist in creating pedestrian friendly spaces.
- Dead or dying plant material should be removed and replaced as needed.
- Avoid plastic or artificial plant material.

- Trees can serve as a buffer between pedestrians and the road as well as help with screening sun and wind exposure.
- The best trees for sidewalk planting are those that are deep rooted and find nutrients from deep within the soil. They do not have rooting near the surface, minimizing the chances of roots pushing through tree grates or pavement. Top 10 sidewalk trees for North American climates
 - Cherry tree
 - Dogwood
 - Ginkgo
 - Hickory
 - Hornbeam
 - Japanese lilac tree
 - Linden
 - Ornamental pear trees
 - Walnut
 - White oak
- Trees should be in scale with their surroundings and planted so as not to impede pedestrian traffic flow.
- Trees should be deep rooted to avoid upheaval of the sidewalks.
- Tree should be selected to fit the climate, soil type, and environment for which they are planted.
- Façades can be enlivened by the addition of hanging plants. Hanging plants, however, must not impede pedestrian traffic.
- Window planters are also recommended to enhance the greenery of the streetscape.
- Landscaping can be used to soften fencing as noted in Section 2.04.1 above.

Mechanical Systems

- Air conditioner units distended from windows are not allowed.
- New mechanical systems/additional mechanical services should be placed out of the line of sight when possible.
- Special precautions should be taken when installing new mechanical systems in older buildings to ensure that both the interior/exterior of the building is preserved.
- Rooftop units visible from the street shall be screened from pedestrian view with a material in keeping with the architecture of the building.

SECRETARY OF THE INTERIOR STANDARDS.

The Standards for the Treatment of Historic Properties address four treatments: preservation, rehabilitation, restoration, and reconstruction. The Guidelines are intended as an aid to assist in applying the Standards to all types of historic buildings. They are not meant to give case-specific advice or address exceptions or unusual conditions. They address both exterior and interior work on historic buildings. Each treatment includes one set of Standards with accompanying Guidelines that are to be used throughout the course of a project.

Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project. However, new exterior additions are not within the scope of this treatment. The Standards for Preservation require retention of the greatest amount of historic fabric along with the building's historic form.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. The Rehabilitation Standards acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building's historic character.

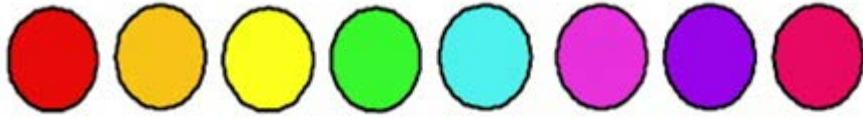
Restoration is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project. The Restoration Standards allow for the depiction of a building at a particular time in its history by preserving materials, features, finishes, and spaces from its period of significance and removing those from other periods.

Reconstruction is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. The Reconstruction Standards establish a limited framework for recreating a vanished or non-surviving building with new materials, primarily for interpretive purposes.

These standards are intended to provide technical advice about archeological and historic preservation activities and methods. These standards, however, are not regulatory but are encouraged activities and practices. However, they may not be suitable or practical for all projects within the design review area. Additional information can be found at the following resource website:

- [The Secretary of the Interior's Standards for the Treatment of Historic Properties - Technical Preservation Services \(U.S. National Park Service\) \(nps.gov\) - https://www.nps.gov/orgs/1739/secretary-standards-treatment-historic-properties.htm](https://www.nps.gov/orgs/1739/secretary-standards-treatment-historic-properties.htm)

APPENDIX 1



Discouraged Colors. Colors like these can be used as accents, but should not be used as the predominant color of the building.



Appropriate Colors in Moderation: These are colors to use in moderation, and would work well for accentuating architectural details.



Encouraged Colors - these colors are more neutral and fit the traditional color palette of the downtown.